

GENERAL NOTES

1. LOTS ARE TO BE SERVICED BY PUBLIC WATER AND SEWER.
2. ALL ROADS AND STORM DRAINS IN PHASE III ARE TO BE PRIVATE.
3. STORMWATER MANAGEMENT AS INDICATED ON THIS PLAN IS SUBJECT TO FINAL DESIGN. CONCEPT SWM PLANS WERE SUBMITTED TO DEP ON MAY 21, 2021.
4. FINAL LOCATION FOR FIRE HYDRANTS, VALVES, WATER LINES, SEWER LINES, ETC. SHALL BE DETERMINED DURING CONSTRUCTION DRAWINGS.
5. WATER QUALITY SHALL BE PROVIDED AT FINAL CONSTRUCTION DRAWINGS.
6. THERE ARE NO KNOWN SIGNIFICANT HABITAT AREAS FOR THREATENED OR ENDANGERED SPECIES ON SITE.
7. ALL PUBLIC WATER LINES SHALL BE 8" UNLESS OTHERWISE NOTED.
8. ALL PUBLIC SEWER LINES SHALL BE 8" UNLESS OTHERWISE NOTED.
9. ALL PUBLIC UTILITIES LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE CONTAINED WITHIN A DRAINAGE AND UTILITY EASEMENT.
10. ALL OPEN SPACES SHALL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION (H.O.A.).
11. THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
12. THE EXIST. 100-YEAR FEMA FLOODPLAIN SHOWN HEREON IS TAKEN FROM FIRM MAP NO. 240250021E, REVISED DATE, APRIL 14, 2016.
13. THE PROPOSED FLOODPLAIN SHOWN IS FROM HYDROLOGY AND HYDRAULICS STUDY BY MORRIS & RITCHIE ASSOCIATES, INC. (DECEMBER 2020).
14. THE PLAN IS BASED ON THE CONCEPT PLAN DATED 4/12/03, AND APPROVED BY THE CITY OF HAVRE DE GRACE PLANNING COMMISSION ON 4/22/03.
15. LIMITS OF WETLANDS WERE DELINEATED BY ECO-SCIENCE PROFESSIONALS, INC.
16. ALL PRIVATE SIGNS, SIGNALS, AND PAVING MARKINGS ON ROADS WILL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE MD STANDARD SIGN BOOK.
17. THIS REVISED SITE PLAN SUPERSEDES THE PREVIOUSLY APPROVED "SITE PLAN FOR BULLE ROCK PHASE III," APPROVED 6/14/2005 FOR PARCELS Q, Q.A, H, AND X.



LEGEND

- | | | | |
|--|--------------------------------------|--|--|
| | EXISTING 2' CONTOUR | | PROPOSED 5' WIDE ASPHALT TRAIL |
| | PROPOSED 2' CONTOUR | | PROPOSED 10' WIDE ASPHALT TRAIL |
| | PROPOSED 10' CONTOUR | | PROPOSED WATER LINE & FIRE HYDRANT |
| | EXISTING TREE LINE | | PROPOSED STORM DRAIN MANHOLE & INLET |
| | EXISTING WOODED VEGETATION TO REMAIN | | PROPOSED LOT NUMBER |
| | PROPOSED TREE LINE | | PROPOSED NEIGHBORHOOD DRAINAGE FEATURE |
| | EXISTING STREAM | | PROPOSED STREET LIGHTING |
| | 25' WETLAND BUFFER | | EXISTING DRIVE / ROAD |
| | LIMIT OF WETLANDS / WATERS | | EXISTING BUILDING |
| | EXISTING FEMA FLOODPLAIN | | |
| | 10% TO 25% SLOPES | | |
| | 25% OR GREATER SLOPES | | |
| | PROPOSED FLOODPLAIN | | |
| | SOILS LINE | | |
| | PHASE LINE | | |
| | BOUNDARY LINE | | |
| | PROPOSED LOT LINE | | |
| | ADJACENT PROPERTY LINE | | |
| | PRIVATE RIGHT-OF-WAY LINE | | |
| | PROPOSED SETBACK LINE | | |
| | PROPOSED PAVING / CURB & GUTTER | | |

SITE DATA

1. OWNERS/DEVELOPERS: BR LANDHOLDER, LLC / BULLE ROCK DEVELOPER, INC.
C/O 809 HARBOR COMPANIES, INC.
2100 PHILADELPHIA ROAD
EDENWOOD, MD 21040
ATTN: ROBERT C. WARD, MANAGING MEMBER
ROBERT HOLMECK, DIRECTOR OF LAND DEVELOPMENT
2. PLAN PREPARED BY: MORRIS & RITCHIE ASSOCIATES, INC.
3445-A BOX HILL CORPORATE CENTER DRIVE
ANBOSNDON, MARYLAND 21009 (P) 410.515.8000
3. PROPERTY INFORMATION (ORIGINAL TRACT)

TAX MAP	PARCEL	LOT	ACREAGE	ZONING
44	246	2	51.34 AC.	R-1
44	236	2	49.91 AC.	R-1
44	236	4	226.56 AC.	R-2
44	236	4	49.95 AC.	R-2
44	104	N/A	166.20 AC.	R-2
52	51	N/A	386.06 AC.	R-2
52	33	N/A	121.84 AC.	R-2
TOTAL			471.32 AC.	
4. PROPOSED DEVELOPMENT TYPE: PLANNED ADULT COMMUNITY

5. REQUIRED SETBACKS/ DESIGN STANDARDS:
SINGLE FAMILY DETACHED DWELLINGS:
MIN. LOT AREA = 5,000 SF
MAX. LOT COVERAGE = 40%
MIN. LOT WIDTH = 30'
MIN. FRONT YARD SETBACK = 15'
MIN. REAR YARD SETBACK = 15'
MIN. SIDE YARD SETBACK = 5'
MAX. BUILDING HEIGHT = 40'
MULTI-FAMILY DWELLINGS:
MIN. LOT AREA = 10,000 SF
MAX. LOT COVERAGE = 50%
MIN. LOT WIDTH = 100'
MIN. FRONT YARD SETBACK = 15'
MIN. REAR YARD SETBACK = 15'
MIN. SIDE YARD SETBACK = 15'
MAX. BUILDING HEIGHT = 60'
SINGLE FAMILY ATTACHED DWELLINGS:
MIN. LOT AREA = 1,200 SF
MAX. LOT COVERAGE = 60%
MIN. LOT WIDTH = 20'
MIN. FRONT YARD SETBACK = N/A
MIN. SIDE YARD SETBACK = N/A
MIN. REAR YARD SETBACK = 25'
MAX. BUILDING HEIGHT = 60'
COMMUNITY FACILITIES:
MIN. LOT AREA = 3,000 SF
MAX. LOT COVERAGE = N/A
MIN. FRONT YARD SETBACK = 15'
MIN. SIDE YARD SETBACK = 15'
MIN. REAR YARD SETBACK = 15'
MAX. BUILDING HEIGHT = 60'
6. TOTAL DEVELOPMENT ACREAGE:
PHASE III DEVELOPMENT ACREAGE: 471.32 AC.
AREA OF RESIDENTIAL LOT'S: 136.00 AC.
AREA OF PRIVATE ROAD R/W: 17.85 AC.
7. AREA OF WATERS/WETLANDS:
PHASE I: 25.30 AC.
PHASE II: 8.42 AC.
FUTURE PHASE: 13.20 AC.
TOTAL: 46.92 AC.
8. ALLOWABLE DENSITY:
1 DU / 20,000 S.F. OF GROSS SITE AREA
471.32 AC. / 20,000 S.F. = 2126.60 DU.
2176 DU / AC.
2126 DU / 471.32 AC. = 2175 DU/AC.
PROPOSED DENSITY:

4. OFF-STREET PARKING (PARCELS Q, Q.A, H AND X);

- RESIDENTIAL:
REQUIRED:
2 SPACES/D.U.
2 SPACES X 93 D.U. = 186 SPACES
206 SPACES (186 GARAGE + 20 PERPENDICULAR PARKING SPACES)
10. EXISTING FOREST (ENTIRE SITE): 561.91 AC.
FOREST TO BE REMOVED: 404.67 AC.
* THESE AREAS ARE FROM THE FINAL COMPOSITE FOREST CONSERVATION PLAN
SUMMARY FOR BULLE ROCK PHASES I - III, LATEST REVISION 10/20/04 WHICH HAS
APPROVED BY THE CITY OF HAVRE DE GRACE ON 06/20/04. THE AREA OF FOREST TO BE
REMOVED IS SUBJECT TO CHANGE WITH FINAL SEDIMENT AND EROSION CONTROL PLANS.
II. PHASING OF DEVELOPMENT:

	S.F.D.	S.F.A.	M.F.	TOTAL
EXISTING (ESTATES 4 HEADQUARTERS)	25 UNITS	56 UNITS	N/A	81 UNITS
PHASE I	506 UNITS	492 UNITS	112 UNITS	1,070 UNITS
PHASE II	176 UNITS	64 UNITS	182 UNITS	362 UNITS
PHASE III	176 UNITS	138 UNITS	N/A	304 UNITS
FUTURE PHASES	221 UNITS	60 UNITS	N/A	281 UNITS
TOTAL	1,067 UNITS	765 UNITS	244 UNITS	2,126 UNITS

12. OPEN SPACE (PHASE III):
REQUIRED:
PROPOSED:
34.50 AC. (25%)
WETLANDS / WATERS = 8.42 AC.
OTHER = 34.15 AC.
TOTAL = 48.07 AC.
13. UNITS BY TYPE:

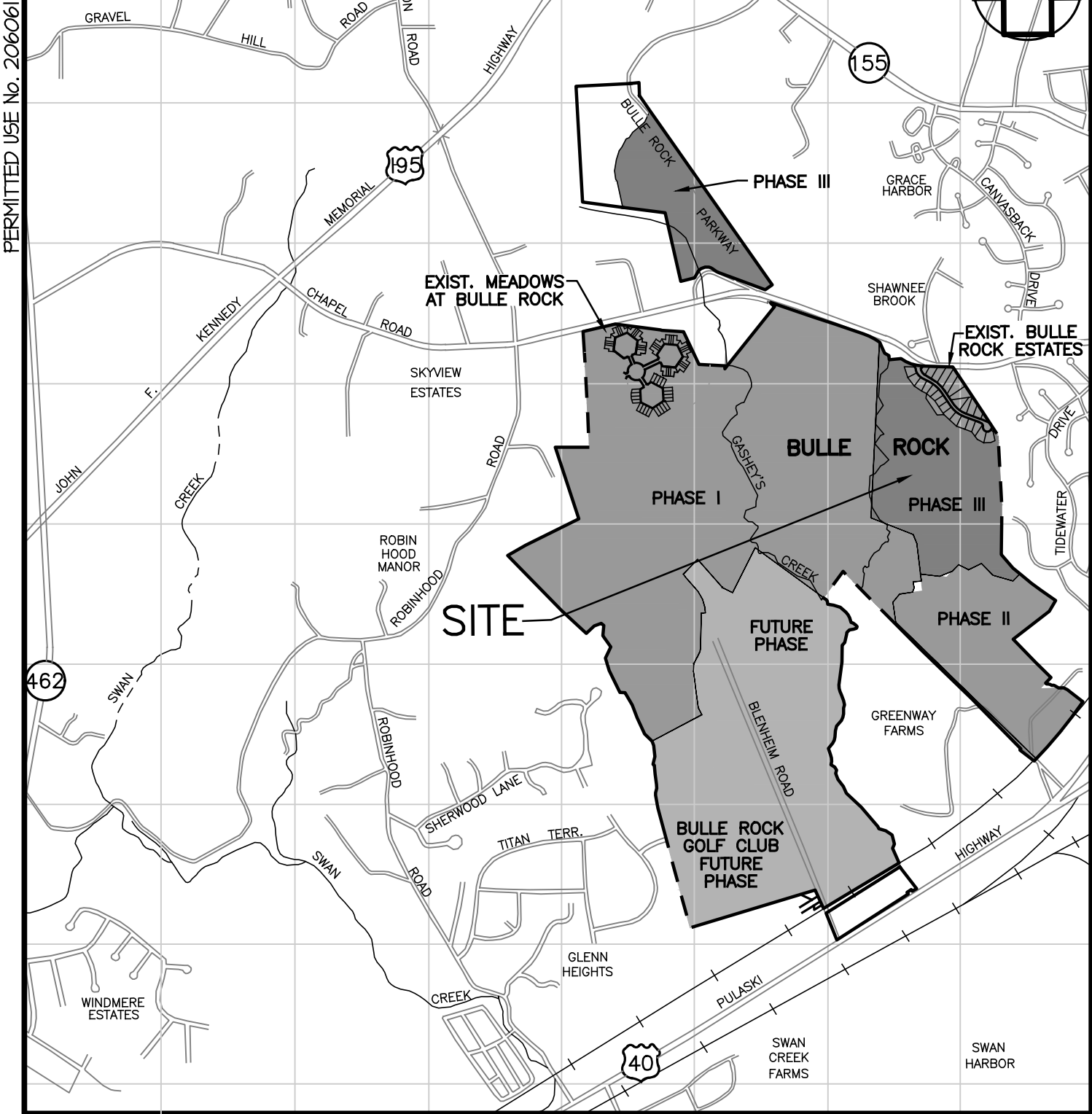
	REQUIRED	PROPOSED	TOTAL
SINGLE FAMILY DETACHED DWELLINGS:	396	1,008	1,404
SINGLE FAMILY ATTACHED DWELLINGS:	0	578	578
MULTI-FAMILY DWELLINGS:	0	578	578
TOTAL:	396	2,164	2,560

14. UNITS WITHIN PARCELS Q, Q.A, H AND X:
SINGLE FAMILY DETACHED DWELLINGS: 42 (PARCELS Q, Q.A, AND X)
SINGLE FAMILY ATTACHED DWELLINGS: 51 (PARCEL Q)

SYMBOL		SLOPE		SOILS DATA				HYDROLOGIC CLASSIFICATION
				HYDRIC	WETLAND	AGRICULTURAL	SEPTIC LIMITATIONS	
ASB1	ALBINO	5-8%	LIMITED	NO	NO	YES	YES	D
ASB2	ALBINO	0-8%	LIMITED	NO	NO	YES	YES	D
Av	ALLUVIAL LAND	-	YES	NO	NO	NO	YES	-
CHB2	GULLIM	2-5%	NO	NO	YES	NO	NO	G
DUB	DELANCO	3-8%	LIMITED	POTENTIAL	YES	YES	YES	G
GB2	GLIMVILLE	3-8%	LIMITED	NO	YES	YES	YES	G
LGB2	LESCORE	3-8%	NO	NO	NO	NO	NO	C
LGB2	LESCORE	6-15%	NO	NO	NO	NO	NO	C
LGB2	LESCORE	6-15%	NO	NO	NO	NO	NO	C
LGB2	LESCORE	15-20%	NO	NO	NO	YES	YES	C
LGB2	LESCORE	6-15%	NO	NO	NO	YES	YES	C
LGB2	LESCORE	25-40%	NO	NO	NO	YES	YES	C
HGB2	HORTALTO	3-8%	NO	NO	YES	YES	YES	B
HGB2	HORTALTO	6-15%	NO	YES	NO	NO	NO	B
HGB2	HORTALTO	6-15%	NO	NO	NO	NO	NO	B
HGB2	HORTALTO	6-15%	YES	YES	NO	YES	YES	D

LOT No.		ACREAGE		S.F.		40% MAX. LOT COVERAGE	
3201	0.23	9886	3954				
3202	0.25	10947	4379				
3203	0.23	9914	3866				
3204	0.23	10192	4077				
3205	0.22	9731	3852				
3206	0.23	10087	4035				
3207	0.23	10234	4094				
3208	0.24	10302	4121				
3209	0.22	9441	3776				
3210	0.20	8709	3484				
3211	0.25	10978	4391				
3212	0.25	10893	4357				
3213	0.21	9113	3645				
LOT ACREAGE TOTAL = 2.99 AC.							

LOT No.		ACREAGE		S.F.		60% MAX. LOT COVERAGE	
3101	0.12	5192	3115				
3102	0.09	4020	2412				
3103	0.09	4138	2482				
3104	0.12	5428	3257				
3105	0.12	5257	3154				
3106	0.09	4022	2413				
3107	0.12	5257	3154				
3108	0.12	5256	3124				
3109	0.09	4012	2407				
3110	0.12	5010	3006				
3111	0.12	5039	3023				
3112	0.09	4012	2407				
3113	0.12	5192	3115				
3114	0.12	5192	3115				
3115	0.09	4017	2410				
3116	0.09	4081	2449				
3117	0.13	5673	3404				
3118	0.15	6377	3826				
3119	0.10	4244	2546				
3120	0.09	4030	2418				
3121	0.12	5178	3107				
3122	0.12	5194	3110				
3123	0.09	4012	2407				
3124	0.12	5203	3122				
3125	0.12	5193	3116				
3126	0.09	4012	2407				
3127	0.12	5032	3019				
3128	0.12	5159	3095				
3129	0.09	4012	2407				
3130	0.09	4012	2407				
3131	0.11	4906	2444				
3132	0.12	5192	3115				
3133	0.09	4012	2407				
3134	0.09	4012	2407				
3135	0.12	5192	3115				
3136	0.12	5308	3185				
3137	0.11	4980	2748				
3138	0.11	4979	2747				
3139	0.13	5463	3278				
3140	0.12	5192	3115				
3141	0.09	4012	2407				
3142	0.09	4012	2407				
3143	0.12	5257	3154				
3144	0.13	5724	3434				
3145	0.10	4309	2585				
3146	0.09	4066	2440				
3147	0.12	5201	3121				
3148	0.13	5463	3278				
3149	0.11	4980	2748				
3150	0.11	4980	2748				
3151	0.13	5558	3335				
LOT ACREAGE TOTAL = 5.60 AC.							



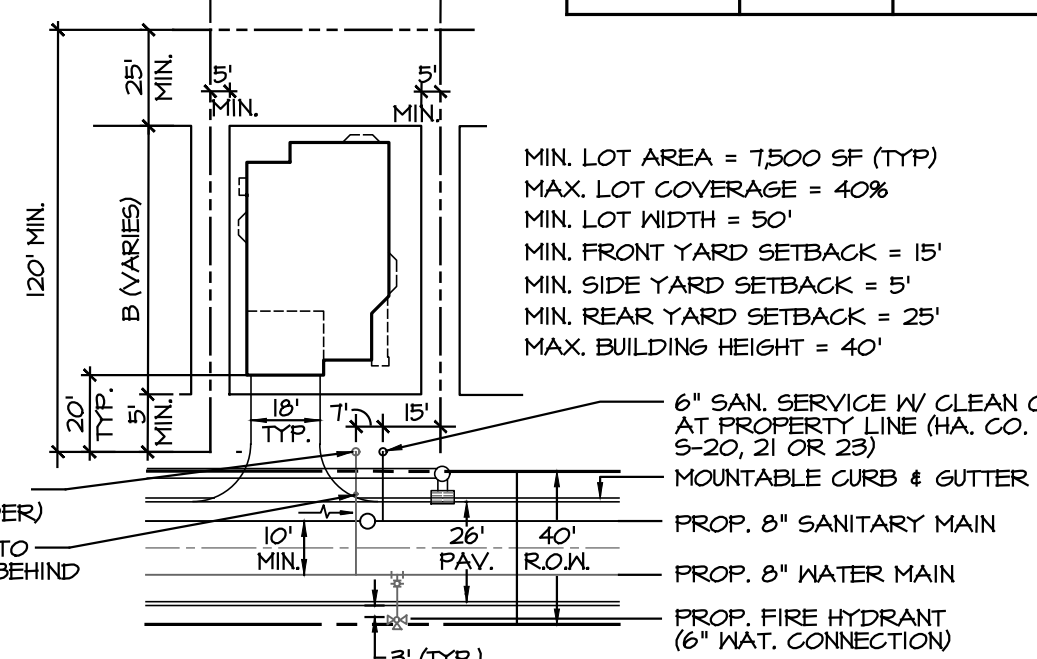
LOCATION MAP

SCALE: 1" = 2000'

APPROVED: CITY OF HAVRE DE GRACE - DIR. DEPT. OF PUBLIC WORKS DATE

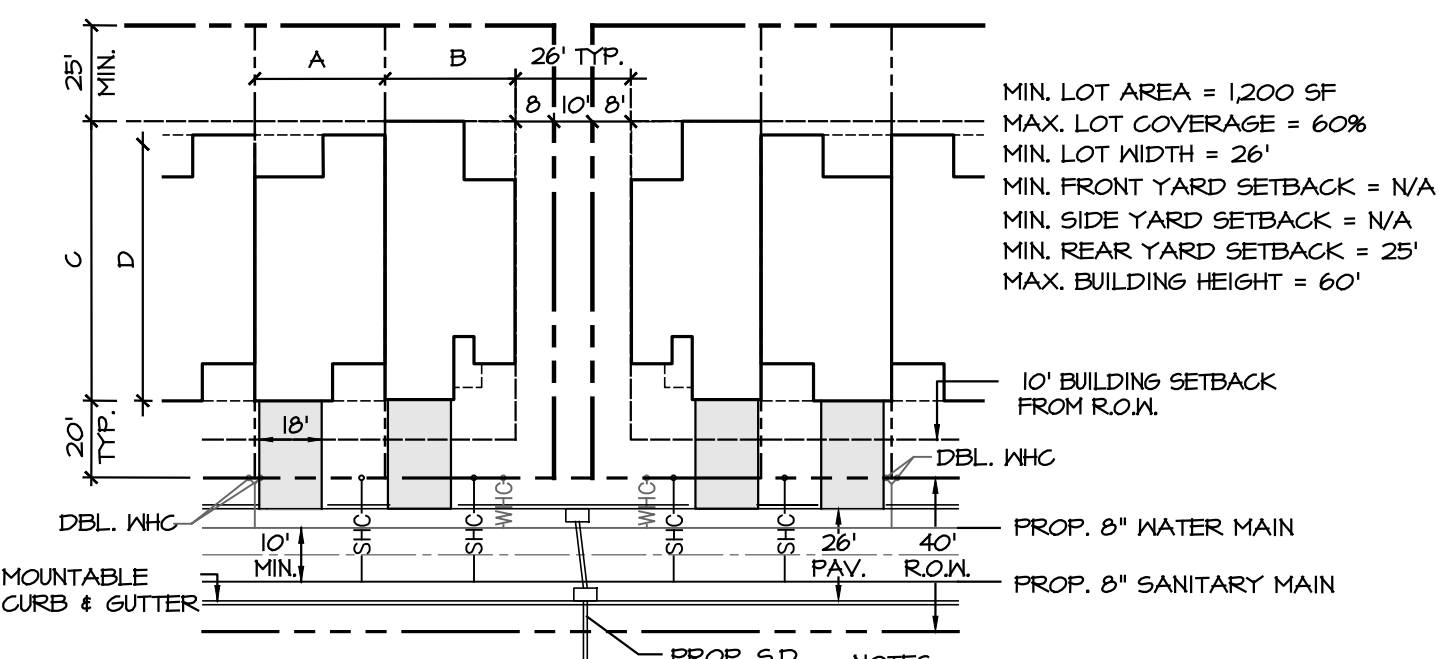
APPROVED: CITY OF HAVRE DE GRACE - CHAIRMAN OF PLANNING COMMISSION DATE

PARCEL	DIM. 'A'	DIM. 'B'
G	44'	75'
GA	50'	75'
X	43/50'	12/75'



TYPICAL LAYOUT
SINGLE FAMILY DETACHED DWELLING
NOT TO SCALE

PARCEL	DIM. 'A'	DIM. 'B'	DIM. 'C'	DIM. 'D'
M	54'	36'	66'	66'



TYPICAL LAYOUT
SINGLE FAMILY ATTACHED DWELLING
NOT TO SCALE



MORRIS & RITCHIE ASSOCIATES, INC.
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PRELIMINARY SITE PLAN
FOR
PARCELS Q, Q.A, W, AND X
BULLE ROCK
PHASE III

DATE	REVISIONS	SCALE: 1" = 60'	JOB NO: 12087-01
		DATE: 10/04/2021	
		DESIGN BY: JMK/JEM	
		REVIEW BY: JMK/JEM	
		SHEET: 1 OF 1	